



**TOWN OF MILLIKEN
TOWN BOARD
AGENDA MEMORANDUM**

To: Mayor Tokunaga and Board of Trustees		Public Hearing Date:	
From: Martha Perkins, Community Development Director		December 23, 2015	
Via: Kent Brown, Town Administrator			
Agenda Item #	Action:	Discussion:	Information: X
Agenda Title: Town Hall Parking Lot Site Plan Update			
Attachments: Town Parking Lot Conceptual Plan Town Parking Lot Site Plan			

PURPOSE

On December 16, 2015, the Planning & Zoning Commission reviewed and approved a commercial site plan for the Town Hall parking lot with conditions.

BACKGROUND

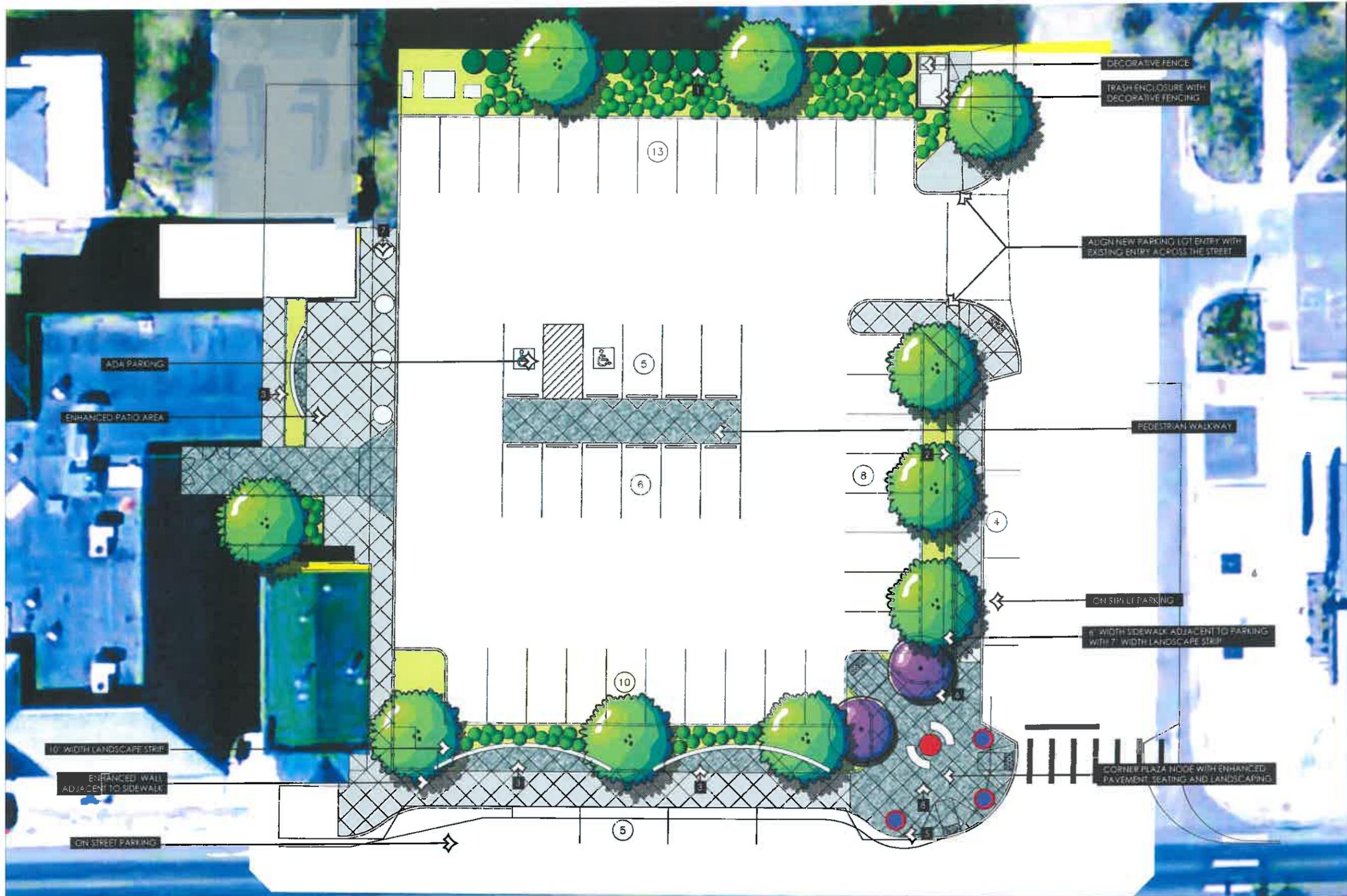
Town staff plans to renovate Town Hall's eastside parking lot on approximately .89 acres, which is zoned Mixed-Use Commercial-Downtown District (MU-C-D). The renovated parking lot will add parking spaces and contain design elements that pull from the Town Hall's and Police building's architectural features and the Town's heritage. The parking lot design uses a variety of textures, shapes and materials to provide visual interest. It is expected to be used not only as a parking lot, but for special events and as a catalyst for the renovation of downtown.

During the last several months, Town staff and Lamp Rynearson, the Town's engineer, have provided conceptual plans to the Board and the public for input. Public input included neighbors.

On Wednesday, December 16 2015, the Town's Planning and Zoning Commission reviewed the Town Hall site plan for the parking lot. They approved the site plan with several conditions. The site plan needs to include a lighting plan, a landscape/irrigation plan, and a storm water plan before construction may commence. The lighting will match the streetlights in style, but the light needs to be directed downward so it does not shine on adjacent property. The landscape irrigation plan needs to specify the trees, shrubs, and other plantings to be used, the plants location, the irrigation plan, and a landscape maintenance plan. And finally, the storm water plan needs to include storm water quality measures to prevent oil, gas, and salts from affecting downstream properties.

BUDGET IMPLICATIONS

To be determined based on the bids that come in for the construction of the project.



LEGEND

	SIDEWALK
	LANDSCAPING SPACE
	ENHANCED AREAS

Town Hall Parking Concept Plan





DECORATIVE FENCE



LANDSCAPE FENCE



SEATING WALL



PAVING COLORS



PLANTERS



TREE GRATE



SPHERICAL BOLLARD



FIREBALL PIT



LIGHTING



SUGGESTED TREE PALLET



SUGGESTED ORNAMENTAL GRASSES

Town Hall Parking Concept Plan Elements



TOWN OF MILLIKEN

TOWN HALL PARKING LOT IMPROVEMENTS

LOCATED IN SECTION 11, TOWNSHIP 4 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MILLIKEN, COUNTY OF WELD, STATE OF COLORADO
NOVEMBER, 2015



INDEX OF SHEETS

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CONTACTS

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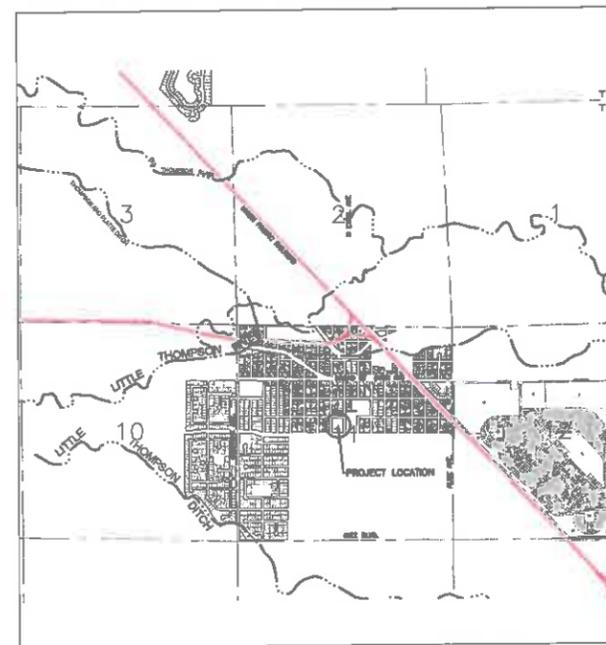
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PROJECT CONTROL

BASIS OF BEARING:
THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 4, RANGE 67 WEST BEARING S89°14'11"E BETWEEN THE EAST QUARTER CORNER MONUMENTED WITH NO. 6 REBAR & 3/4" ALUMINUM CAP STAMPED 1994, PLS 7242 AND THE CENTER QUARTER CORNER OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 67 WEST OF 6TH P.M. MONUMENTED WITH 3/4" ALUMINUM CAP STAMPED 1994, PLS 7242 IN RANGE BOX.

VERTICAL DATUM:
BENCHMARK: NAVD83 (GEOID12A)
3/4" A.C. "2001 B.M. 257-80 KING SURVEYORS INC."
ON A CONCRETE HEADWALL NORTHWEST OF THE INTERSECTION
WITH HWY 80 & HWY 257: ELEV: 4746.32



LOCATION MAP



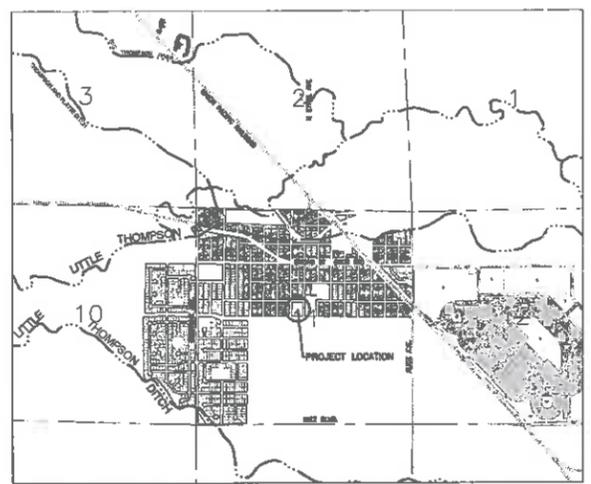
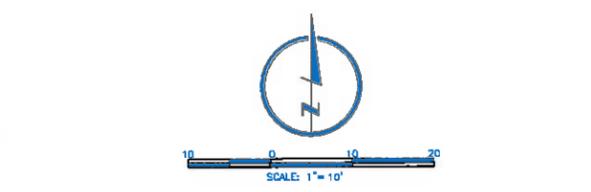
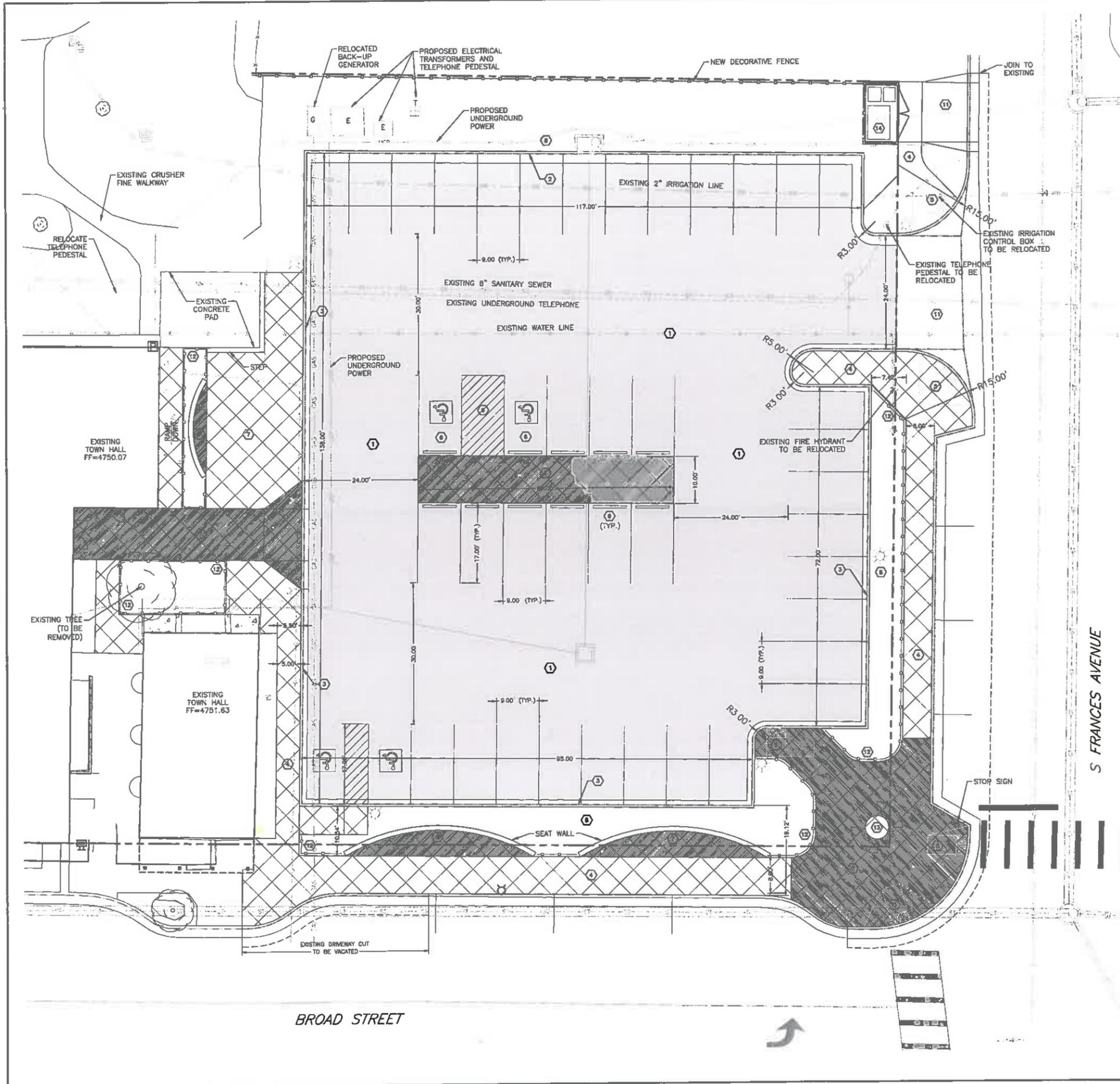
GENERAL NOTES

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE TOWN ENGINEER 24 HOURS ADVANCED NOTICE. PHONE (970) 302-4793.
- THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
- THE TOWN OF MILLIKEN SHALL NOT BE RESPONSIBLE FOR OPERATION, MAINTENANCE OR REPAIR OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE TOWN'S REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE TOWN'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE TOWN WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE OF THE PROJECT BY THE TOWN.
- THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL TOWN, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS.
- NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED. IF APPLICABLE, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE LOCAL ENTITY ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE CONTRACTOR MAY COMMENCE WORK IN THE ENGINEER'S ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- WHEN APPLICABLE, THE CONTRACTOR SHALL HAVE ON-SITE AT ALL TIMES, EACH OF THE FOLLOWING:
 - THE NOTICE OF INTENT (NOI)
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2228, EXCAVATING AND TRENCHING.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS. SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWINGS. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
- EXISTING FENCES, TREES, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS.



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- LEGEND**
- EXISTING PROPERTY LINE
 - - - EXISTING SANITARY SEWER
 - - - EXISTING EASEMENT
 - - - EXISTING TELEPHONE LINE
 - PROPOSED FLOW LINE
 - ▨ PROPOSED ASPHALT PARKING
 - ▩ PROPOSED DECORATIVE CONCRETE

- KEYNOTES**
- ① ASPHALT PARKING LOT
 - ② INFLOW CURB AND GUTTER
 - ③ OUTFLOW CURB AND GUTTER
 - ④ CONCRETE WALK
 - ⑤ HANDICAP RAMP
 - ⑥ HANDICAP PARKING STALL STRIPING
 - ⑦ ENHANCED CONCRETE (SEE SITE AMENITIES)
 - ⑧ LIGHTING (REFER TO LIGHTING PLAN)
 - ⑨ CONCRETE STOP BLOCK
 - ⑩ HANDICAP PARKING SIGN
 - ⑪ CONCRETE PAV/APRON
 - ⑫ LANDSCAPE FENCING
 - ⑬ DECORATIVE FIRE PIT
 - ⑭ TRASH ENCLOSURE

DRAWN BY: JRM CHECKED BY: JRM DATE: 02/28/24 JOB NUMBER: 240304.63 SHEET NUMBER: 4 OF 10	4715 Innovation Drive P Fort Collins, CO 80525 F www.LRA-inc.com
LAMP RYNEARSON & ASSOCIATES TOWN OF MILLIKEN, COLORADO	
SITE PLAN	
PRELIMINARY	
NOT RELEASED FOR CONSTRUCTION	
SHEET 4 OF 10	

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DATE	DATE	DATE	DATE

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LAMP RYNEARSON & ASSOCIATES
TOWN OF MILLIKEN
MILLIKEN, COLORADO

UTILITY PLAN

LAMP RYNEARSON - ENGINEERS

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

SHEET

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SCALE: 1" = 10'

LEGEND

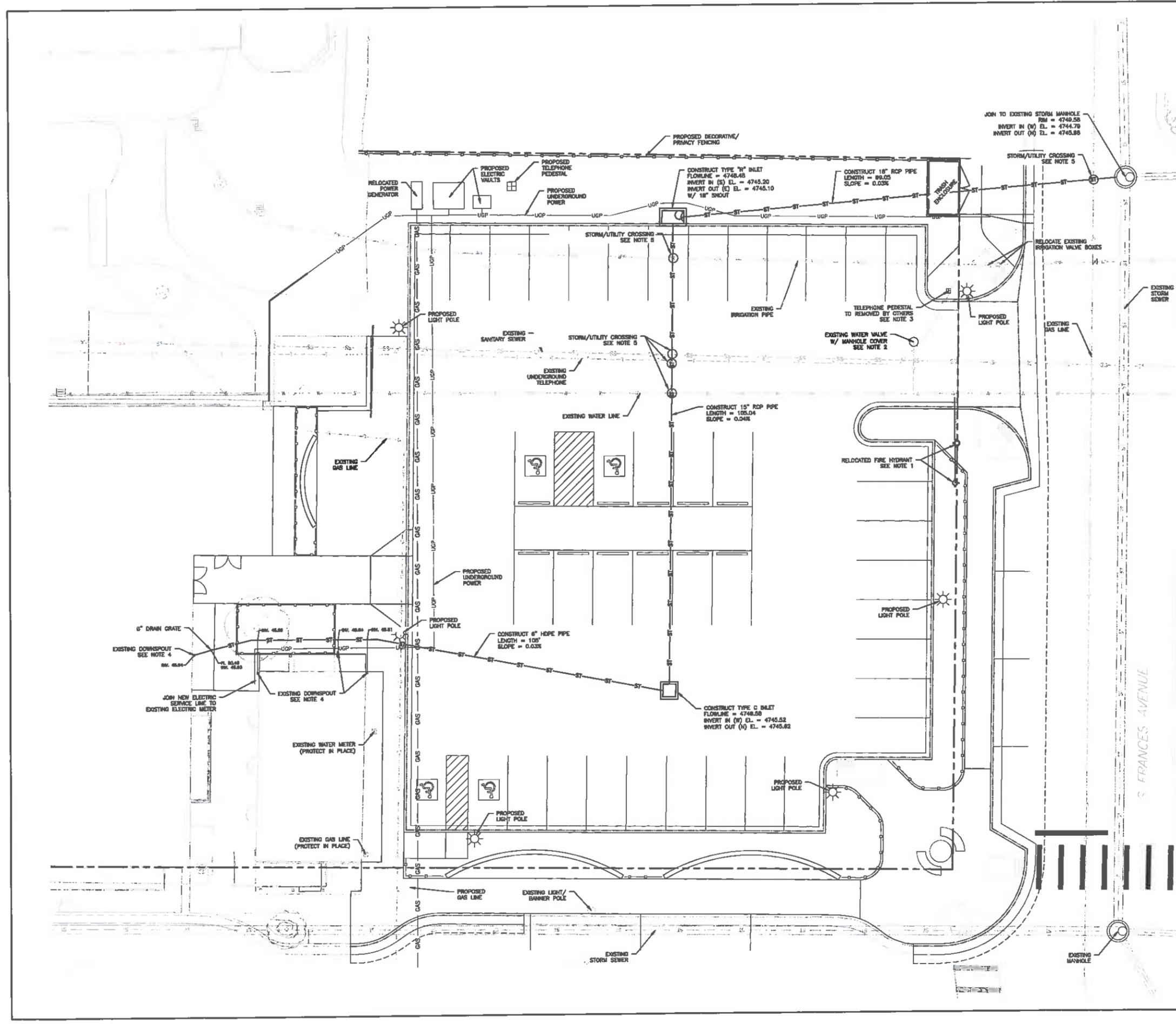
- 8" SS PROPOSED STORM SEWER
- PROPOSED UNDERGROUND POWER
- FLOW ARROW
- 2" W PROPOSED WATER
- PROPOSED MANDHOLE
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED REDUCER
- BOLTED COMPRESSION COUPLING
- PROPOSED TEE WITH THRUST BLOCK
- PROPOSED BEND WITH THRUST BLOCK
- T.O.P TOP OF PIPE

KEYNOTES

- 1 INSTALL POWER TRANSFORMER
- 2 INSTALL POWER TRANSFORMER
- 3 RELOCATE BACK-UP GENERATOR
- 4 RELOCATE FIRE HYDRANT
- 5 RELOCATE IRRIGATION VALVE BOX
- 6 RELOCATE TELEPHONE PEDESTAL

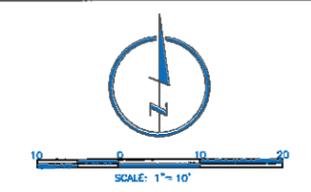
CONSTRUCTION NOTES:

1. CONTRACTOR SHALL REPAIR EXISTING FIRE HYDRANT VALVE & PIPING, AND RELOCATION EXISTING FIRE HYDRANT TO LOCATION AS SHOWN ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH TOWN'S UTILITIES MANAGER PRIOR TO BEGINNING THE WORK.
2. CONTRACTOR SHALL ABANDON EXISTING WATER VALVE AND ABANDONED SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH THE TOWN UTILITIES MANAGER PRIOR TO BEGINNING THE WORK.
3. CONTRACTOR SHALL COORDINATE WITH CENTURY LINK REGARDING THE REMOVAL AND/OR RELOCATION OF EXISTING TELEPHONE FACILITIES. CENTURY LINK IS RESPONSIBLE FOR THE ACTUAL REMOVAL AND/OR RELOCATION OF CENTURY LINK FACILITIES.
4. CONTRACTOR IS RESPONSIBLE FOR INSTALLING NEW DRAIN GRATE AND ADJUSTING EXISTING DOWNSPOUTS SO THAT RUNOFF FROM THE ROOF DRAINS WILL COLLECT IN PROPOSED 6" HDPE DRAIN SYSTEM. CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UTILITY AND PROVIDE HORIZONTAL AND VERTICAL ELEVATION LOCATIONS TO TOWN ENGINEER TO DETERMINE WHETHER THERE IS A CONFLICT WITH THE PROPOSED STORM SEWER PIPING. THIS WORK SHALL BE PERFORMED WITHIN ONE WEEK OF BEGINNING ANY SITE WORK.



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NOTES:

1. ALL PERMANENT VEGETATION WILL BE INSTALLED BY THE TOWN. ANY TEMPORARY VEGETATION/SEEDING DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

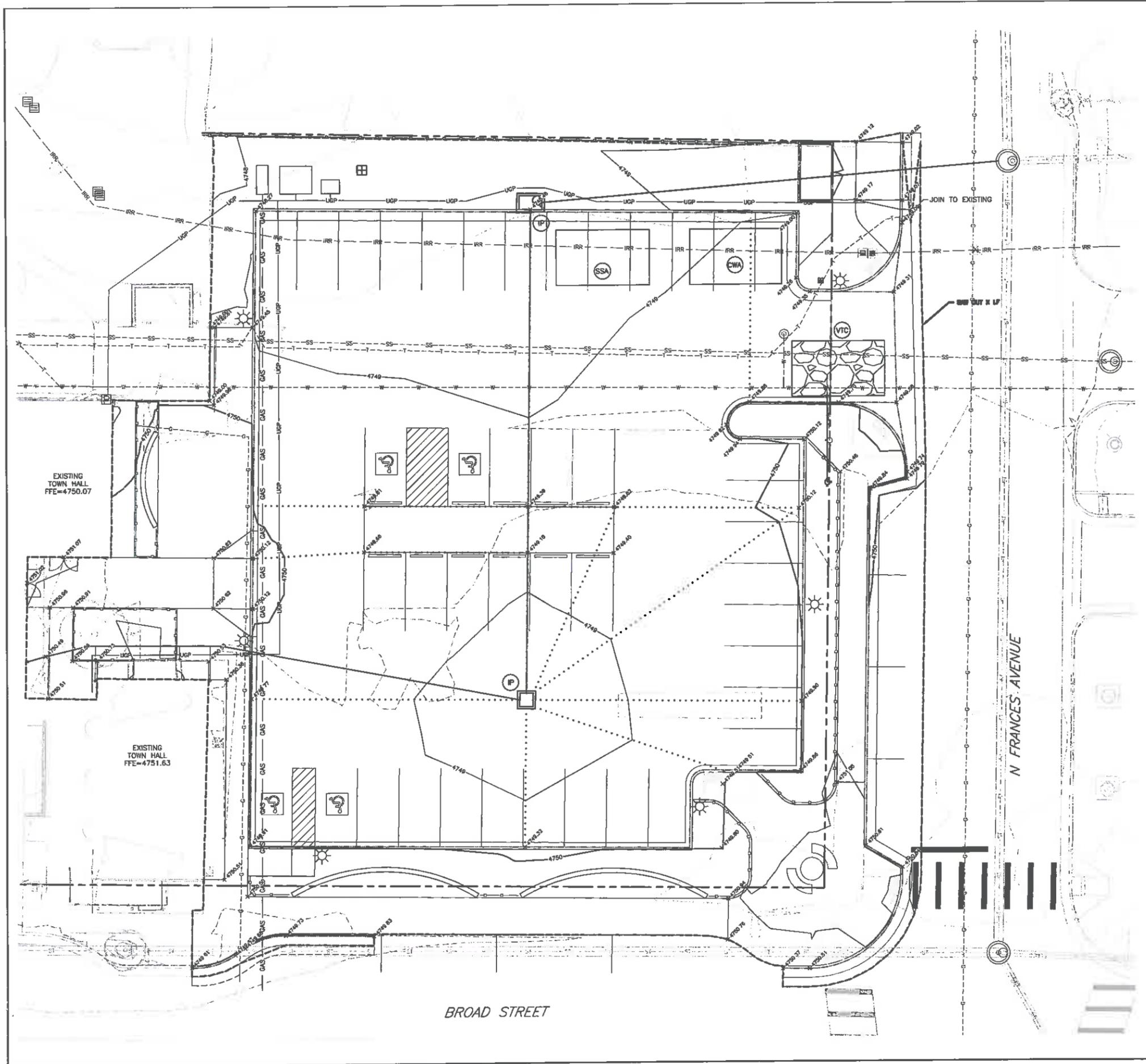
- OVERLAND FLOW ARROW
- CHANNELIZED FLOW ARROW
- VEHICLE TRACKING CONTROL PAD
- CONCRETE WASHOUT AREA
- STABILIZED STAGING AREA
- ROCK SOCK
- INLET PROTECTION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- FINISH FLOOR ELEVATION
- LIMITS OF DISTURBANCE

EROSION CONTROL NOTES

1. CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES, BEFORE COMMENCING ANY LAND CLEARING ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE SEDIMENT AND EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL PERMANENT GROUND VEGETATION HAS BEEN ESTABLISHED TO THE SATISFACTION OF THE ENGINEER.
2. FOLLOWING THE PLACEMENT OF SILT FENCES, THE CONTRACTOR MAY BEGIN CLEARING AND GRUBBING OPERATIONS. THIS OPERATION DOES NOT INCLUDE TOPSOIL STRIPPING.
3. THE CONTRACTOR SHALL LIMIT TOPSOIL STRIPPING OPERATIONS WITHIN THE AREAS IN WHICH THEY ARE IMMEDIATELY WORKING.
4. THE CONTRACTOR SHALL ROUGHEN THE SURFACE OR PROVIDE EITHER TEMPORARY OR PERMANENT GROUND COVER WITHIN FOURTEEN (14) DAYS OF EXPOSING ANY AREA. THIS REQUIREMENT SHALL BE IMPOSED IF THE CONTRACTOR HAS AN AREA EXPOSED FOR FOURTEEN (14) DAYS OR MORE WITHOUT PERFORMING GRADING OPERATIONS WITHIN THE AREA.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL DEVICES AND PRACTICES. IT IS THE INTENT OF THESE PLANS AND THE DESIRE OF THE OWNER TO PROVIDE HIGH QUALITY EROSION AND SEDIMENT CONTROL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH DISCHARGE OF SEDIMENTS, EROSION, OR POLLUTANTS CAUSED BY THIS WORK.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS, AND PROJECT DRAWINGS. THE SITE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES ON SITE DURING CONSTRUCTION IN ACCORDANCE WITH THE ABOVE, AS A MINIMUM STANDARD, AND SHALL REMOVE ANY SILT BEYOND THE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITY.
8. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE, IF NOT REUSABLE ON SITE.
9. THE SITE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
10. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
11. ADDITIONAL ON-SITE PROTECTION, IN ADDITION TO ABOVE, MUST BE PROVIDED TO PREVENT SILT FROM LEAVING THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
12. SITE CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, ETC. PRIOR TO COMPLETION OF PROJECT.
13. ABOVE GROUND FUEL STORAGE NEEDED DURING CONSTRUCTION SHALL NOT EXCEED 1,100 GALLONS AND WILL REQUIRE REVIEW AND PERMIT FROM THE FIRE AUTHORITY. GRAVITY FED TANKS ARE PROHIBITED.
14. ANY AREAS DISTURBED BY CONSTRUCTION WHERE ACTIVITIES HAVE CEASED FOR 30 DAYS OR MORE SHALL BE SEED TO CONTROL EROSION. SEE SEEDING NOTES.
15. IF THE AREA TO BE DISTURBED IS GREATER THAN ONE ACRE, A STORMWATER CONSTRUCTION PERMIT FROM THE COLORADO DEPARTMENT PUBLIC HEALTH AND ENVIRONMENT SHALL BE OBTAINED PRIOR TO THE START OF GRADING.

FUGITIVE DUST CONTROL NOTES

1. CONTROL OF UNPAVED ROADS:
 - A. WATERING SHALL BE COMPLETED AS NEEDED TO CONTROL DUST.
 - B. SPEEDS LIMITED TO PREVENT DUST.
2. CONTROL OF DISTURBED AREAS:
 - A. WATERING SHALL BE COMPLETED AS NEEDED TO CONTROL DUST.
 - B. VEHICLE SPEEDS SHALL BE LIMITED TO TEN (10) MILES PER HOUR.
 - C. RE-VEGETATION SHALL BE COMPLETED WITHIN ONE (1) YEAR OF SOIL DISTURBANCE. SEE SEEDING NOTES THIS SHEET.
 - D. FURROWING OF DISTURBED SOIL SHALL BE PROVIDED AT RIGHT ANGLES TO PREVAILING WINDS, AND SHALL BE A MINIMUM OF SIX (6) INCHES IN DEPTH.
 - E. COMPACTION OF DISTURBED SOILS SHALL BE COMPLETED BASED ON GEOTECHNICAL REPORT PROVIDED BY HORIZON CONSTRUCTION SERVICES, LLC. PROJECT NUMBER 2001121 DATED OCTOBER 3, 2001.
 - F. SILT FENCE SHALL BE INSTALLED AND MAINTAINED FOR WIND BREAKS AS NEEDED.
3. PREVENTION OF MUD AND DIRT CARRIED OUT ONTO PAVED SURFACES:
 - A. VEHICLE TRACKING CONTROL PADS AT ENTRY/EXIT WAYS SHALL BE PROVIDED.
 - B. CLEANUP OF PAVED AREAS SHALL BE COMPLETED AS NEEDED BY A STREET SWEEPER.
4. ADDITIONAL FUGITIVE DUST CONTROL MAY BE NEEDED IF UNFORESEEN CONDITIONS OCCUR OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE LANDOWNER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED.



DRAWN BY CHECKED BY DATE SWS JOB NUMBER/FILES DRAWING NO.	4715 Innovation Drive 970.226.0342 P Fort Collins, CO 80525 970.226.0879 F WWW.LRA-INC.COM
GRADING & EROSION CONTROL PLAN	LAMP RYNEARSON & ASSOCIATES TOWN OF MILLIKEN MILLIKEN, COLORADO
LAMP RYNEARSON - ENGINEERS	PRELIMINARY
NOT RELEASED FOR CONSTRUCTION	SHEET 6 OF 10

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CHECKED BY	JPM
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SCALE	
PROJECT NUMBER	08150043
SHEET NUMBER	

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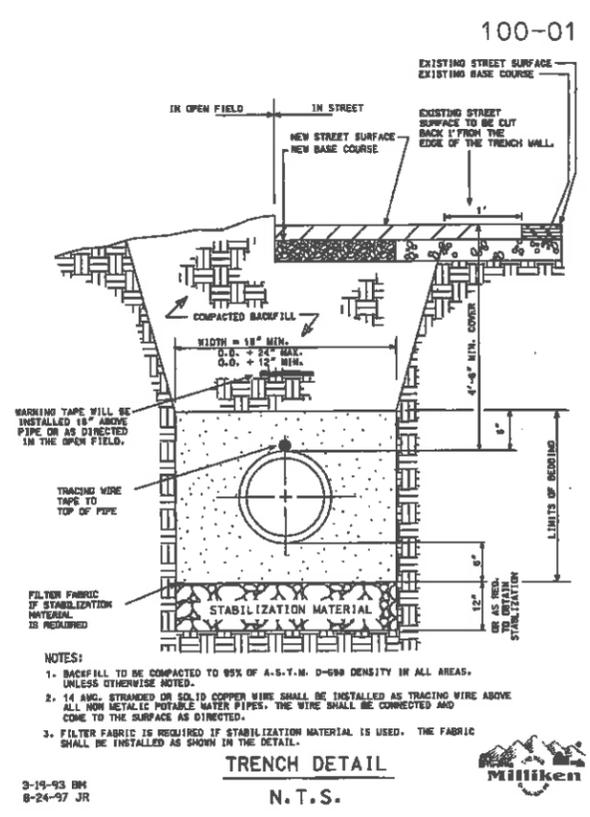
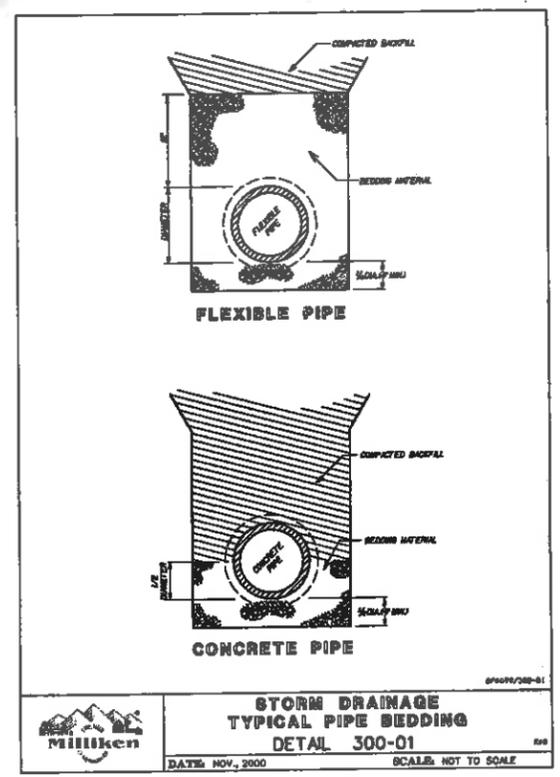
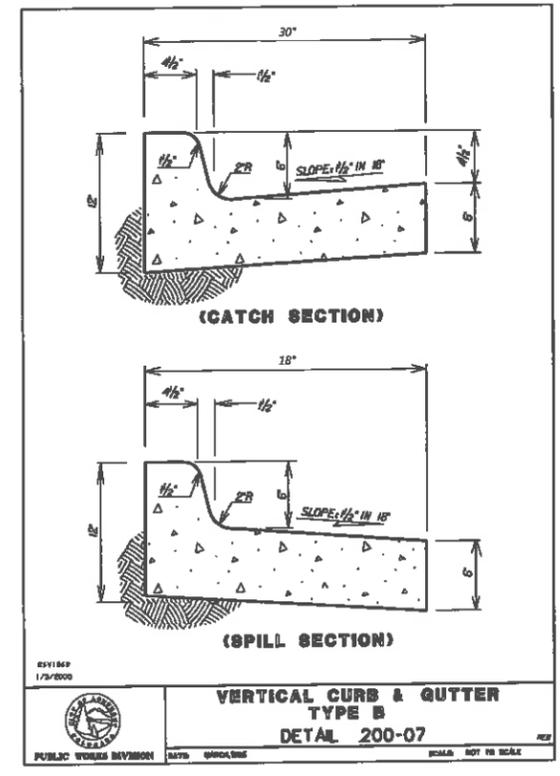
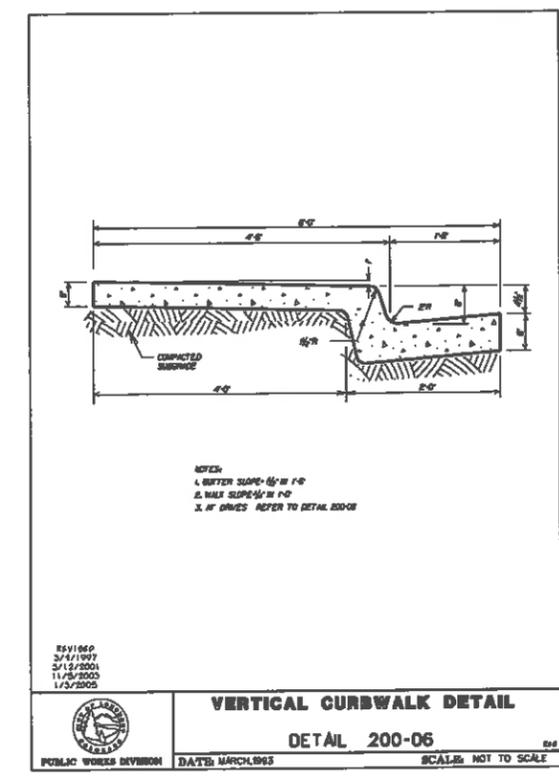
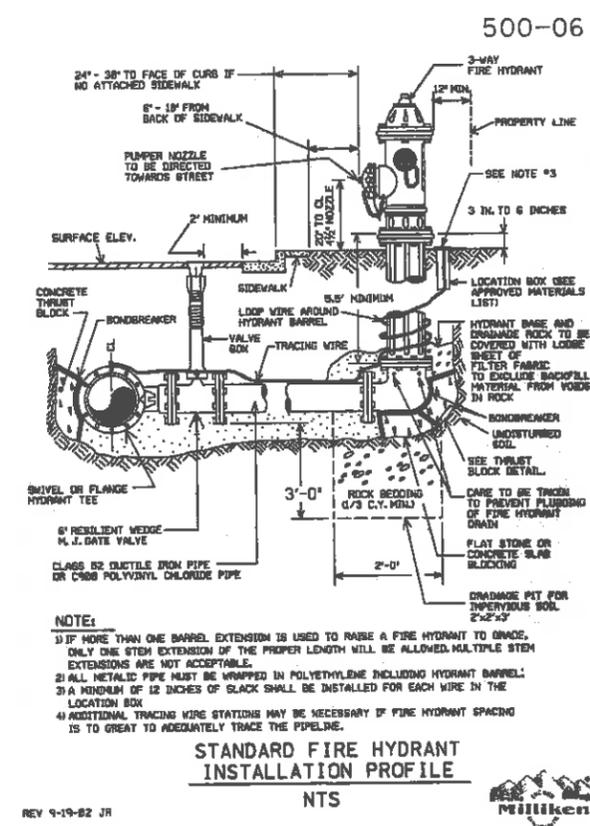
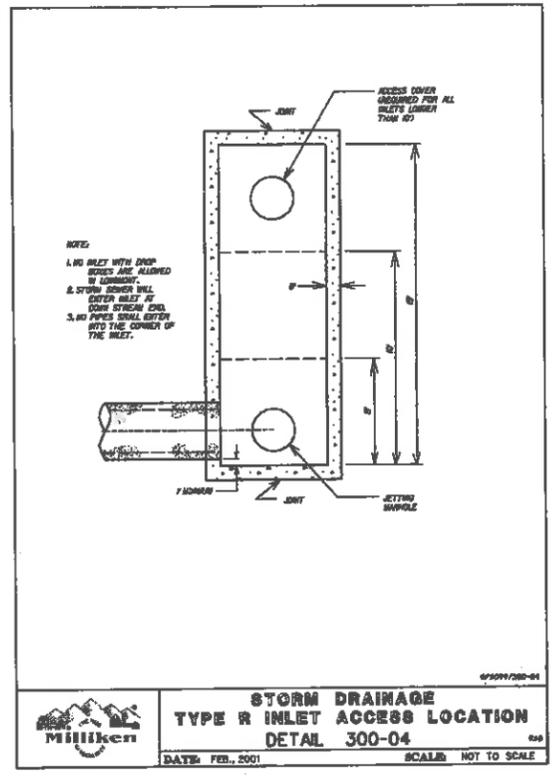
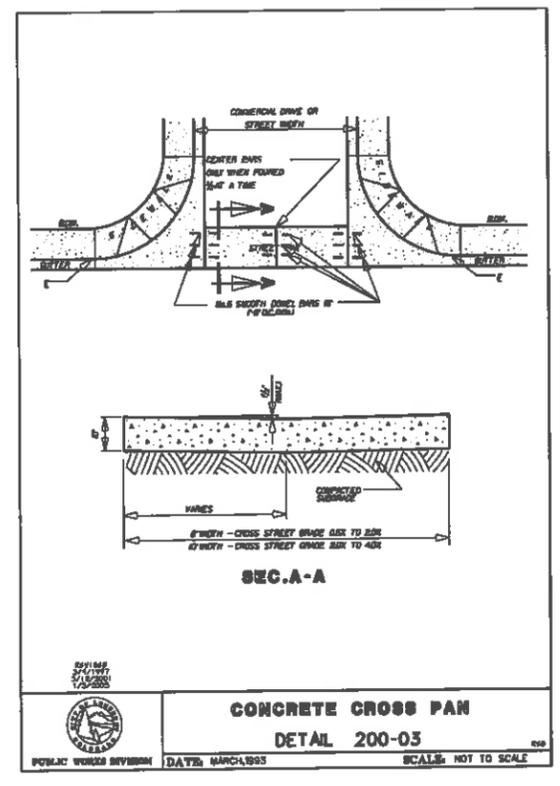
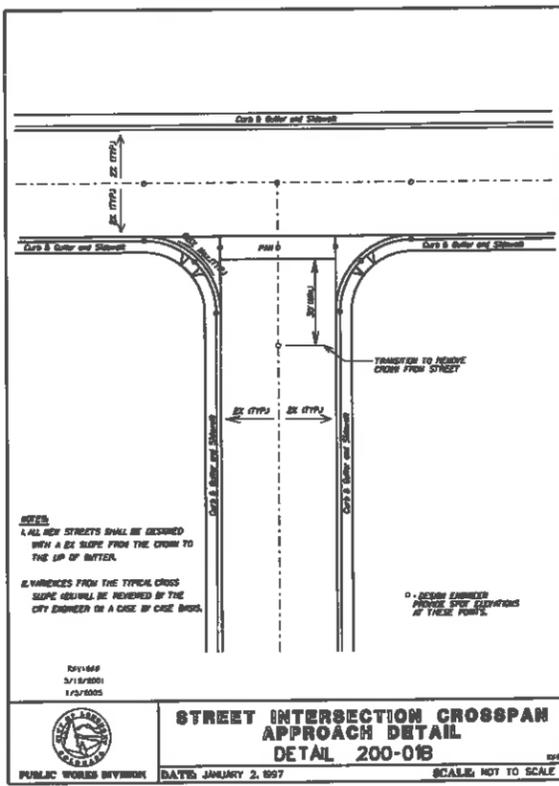
DETAILS

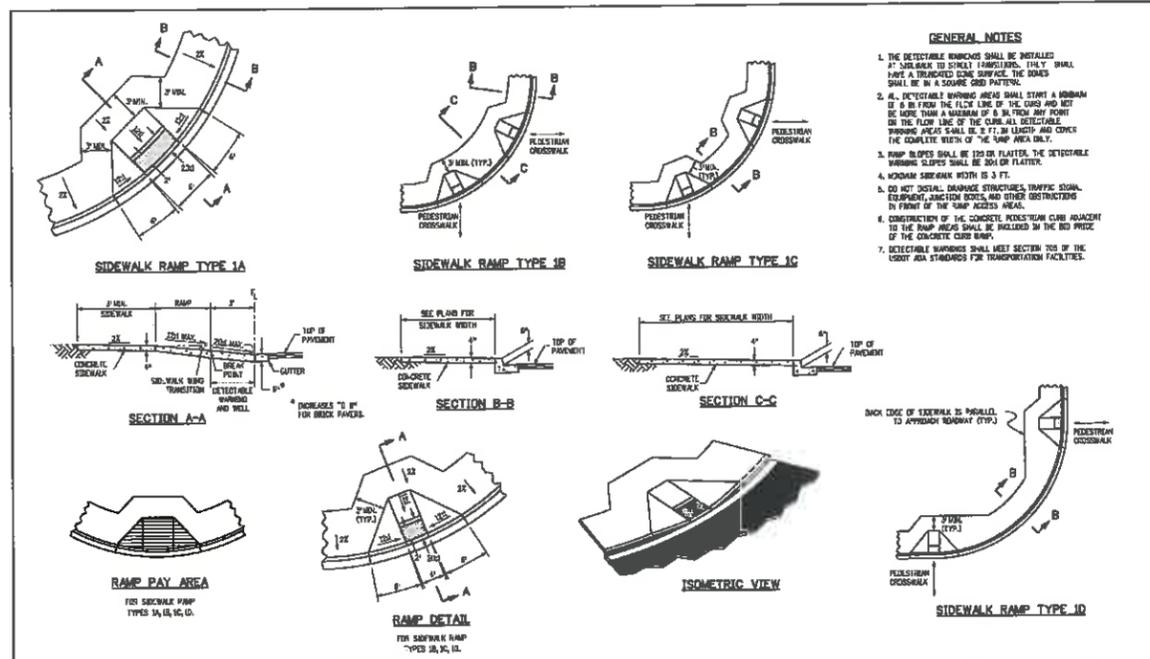
PRELIMINARY

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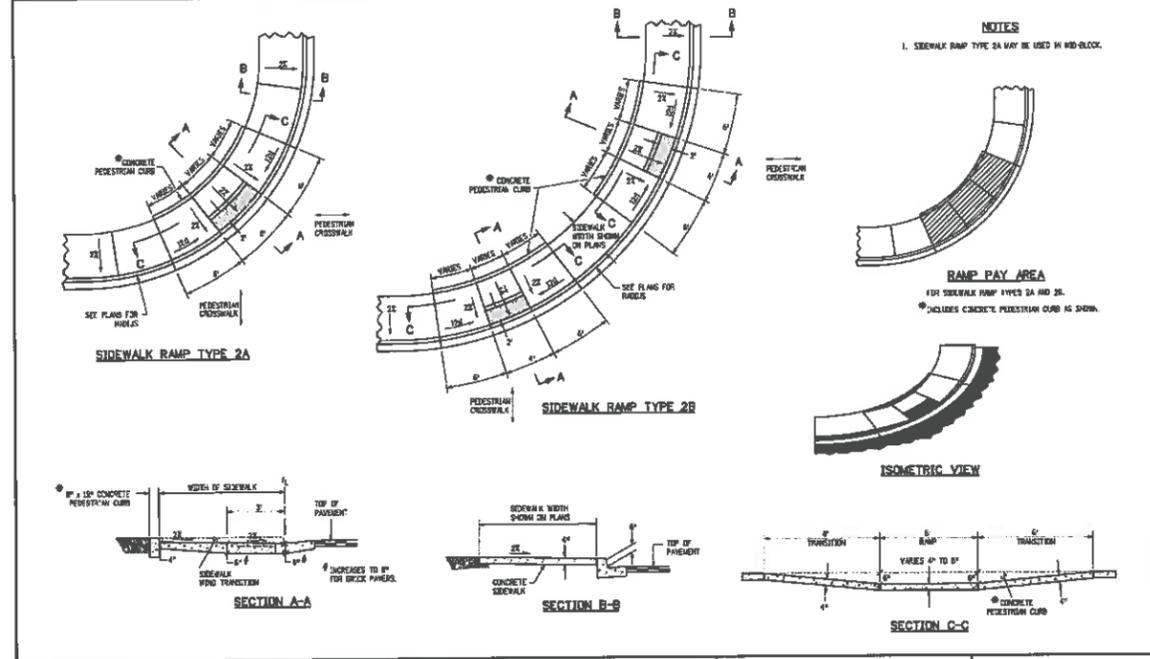
SHEET

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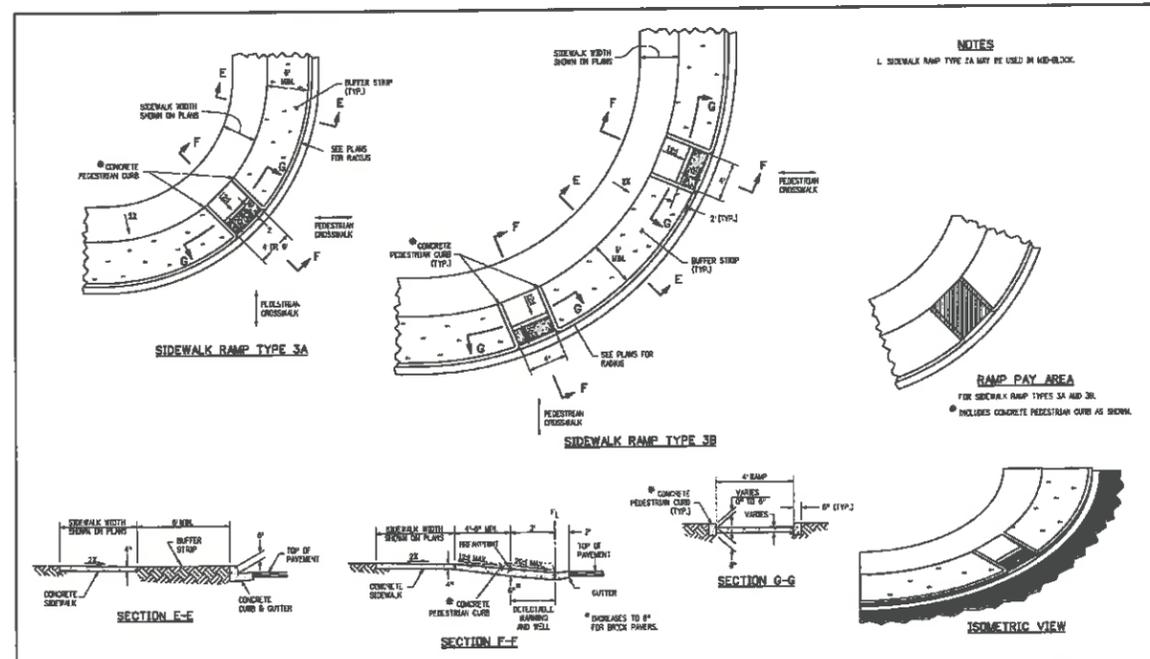




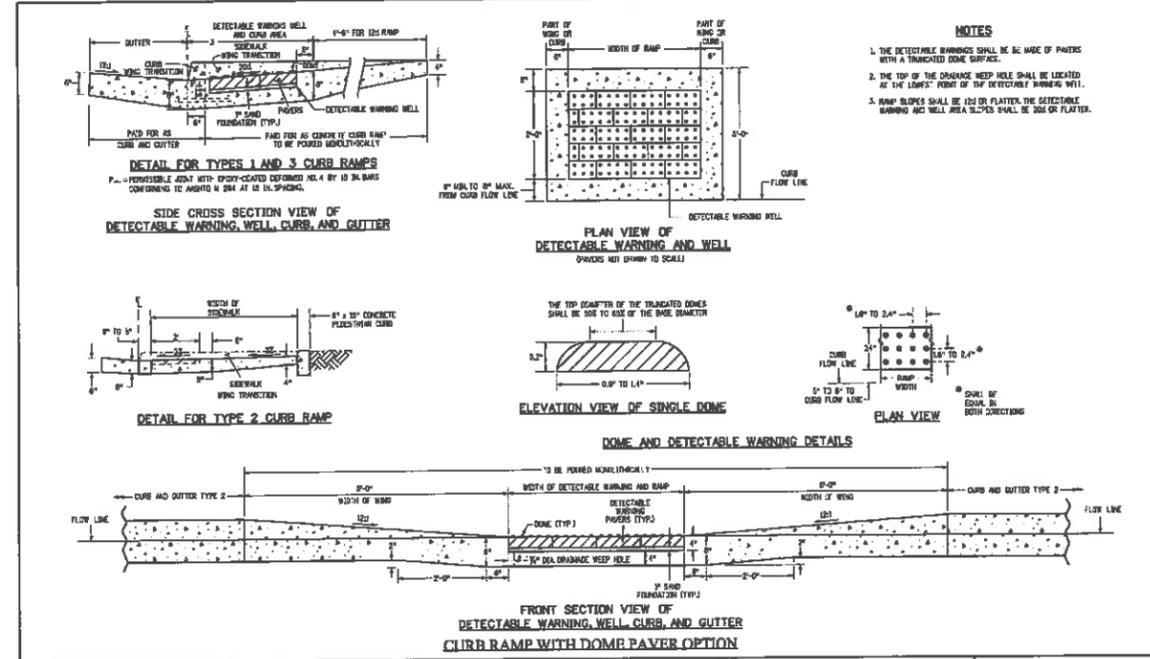
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Creation Date: 07/29/08	Info: ID	Date:	Comments:	4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9000 Fax: (303) 757-9020		M-608-1	
Last Modification Date: 05/05/11	Info: LTA	05/05/11	Change gutter thickness to 8"	Project Development Branch DD/LTA		Sheet No. 1 of 6	
File Path: www.dot.state.co.us/DesignSupport/	Info: LTA	05/05/11	Change sheet number	Issued By: Project Development Branch on July 04, 2008			
Drawing File Name: 60801006.dwg	Info: LTA	05/05/11	Add General Notes 1 through 4.				
CD: Ver 2. Microsoft Vis Scale: Not to Scale Units: English	Info: LTA	05/05/11	Add New Photo option.				



Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
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Last Modification Date: 05/05/11	Info: LTA	05/05/11	Change gutter thickness to 8"	Project Development Branch DD/LTA		Sheet No. 2 of 6	
File Path: www.dot.state.co.us/DesignSupport/	Info: LTA	05/05/11	Change sheet number	Issued By: Project Development Branch on July 04, 2008			
Drawing File Name: 60801006.dwg	Info: LTA	05/05/11	Add General Notes 1 through 4.				
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Last Modification Date: 05/05/11	Info: LTA	05/05/11	Change gutter thickness to 8"	Project Development Branch DD/LTA		Sheet No. 3 of 6	
File Path: www.dot.state.co.us/DesignSupport/	Info: LTA	05/05/11	Change sheet number	Issued By: Project Development Branch on July 04, 2008			
Drawing File Name: 60801006.dwg	Info: LTA	05/05/11	Add General Notes 1 through 4.				
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Last Modification Date: 05/05/11	Info: LTA	05/05/11	Added Power option.	Project Development Branch DD/LTA		Sheet No. 6 of 6	
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Drawing File Name: 60801006.dwg	Info: LTA	05/05/11	Add General Notes 1 through 4.				
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DESIGNED BY	JPH
CHECKED BY	JPH
DRAWN BY	DAV
DATE	
SCALE	
JOB NUMBER	06130043
SHEET NUMBER	4 OF 10

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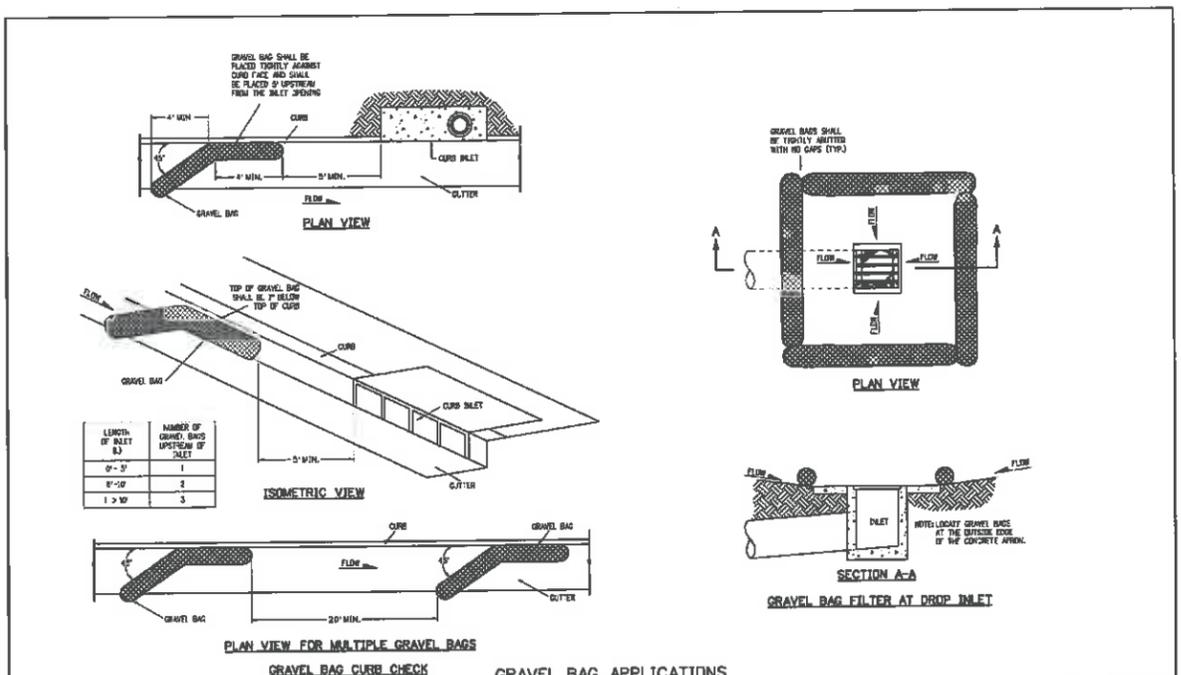
LAMP RYNEARSON - ENGINEERS

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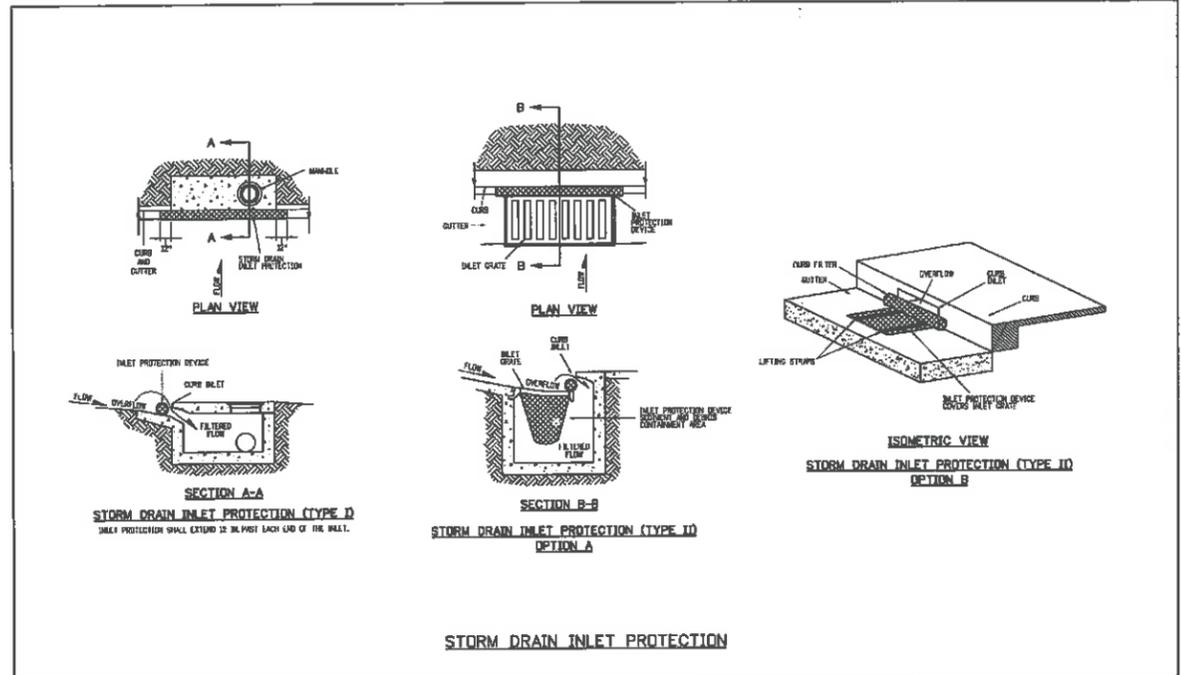
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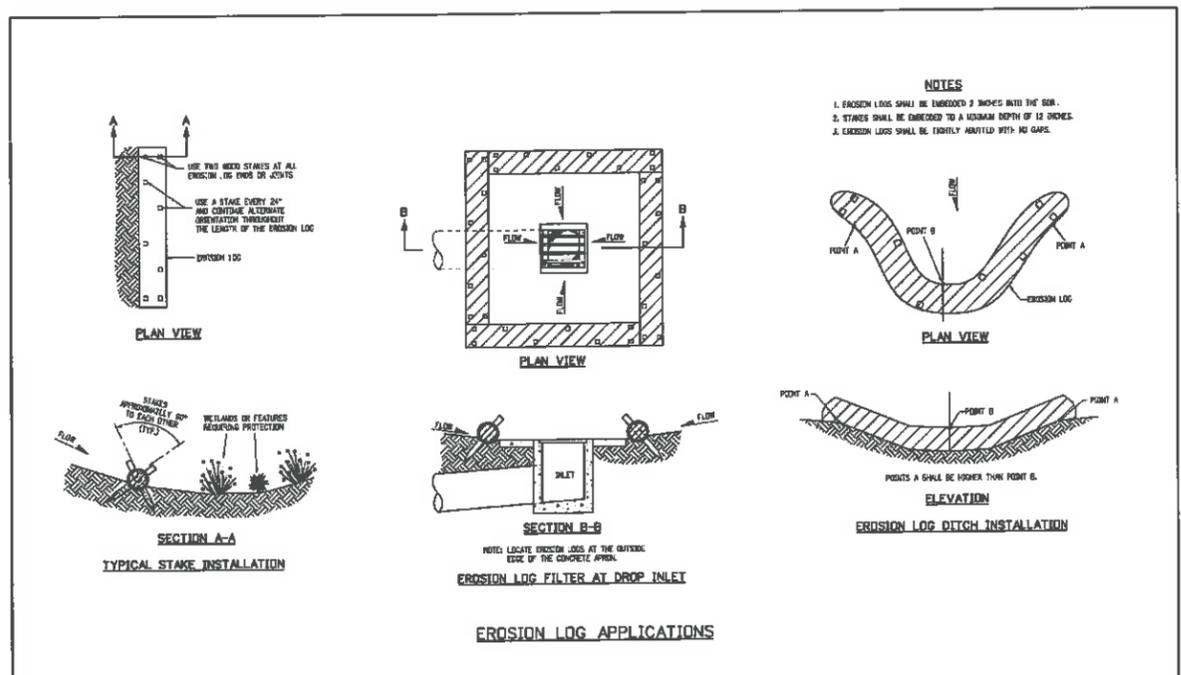
10 OF 10



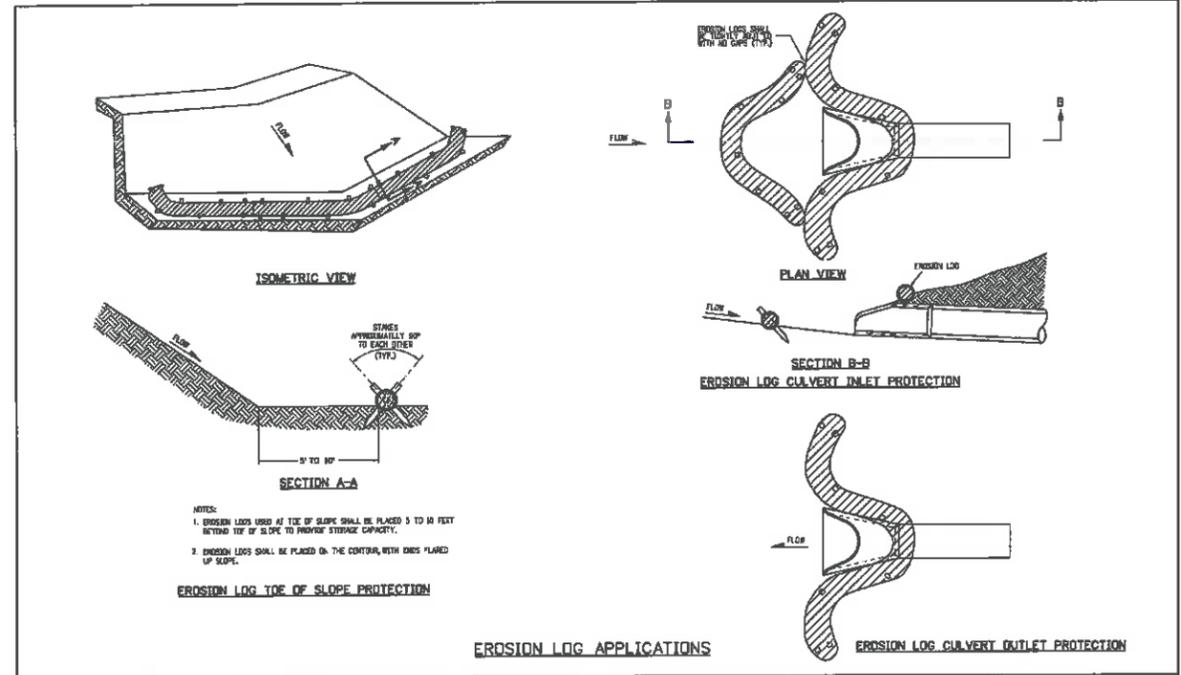
Computer File Information Creation Date: 07/04/12 Last Modification Date: 07/04/12 Full Path: \\www.colorado.gov\... Drawing File Name: 208103010.dgn CADD Version: MicroStation V8 Scale: Not to Scale Units: English	Sheet Revisions Date: _____ Comments: _____	Colorado Department of Transportation 4201 East Arkansas Avenue COST HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9888 Division of Project Support DLM/LTA	TEMPORARY EROSION CONTROL Issued By: Project Development Branch on July 4, 2012	STANDARD PLAN NO. M-208-1 Sheet No. 4 of 10
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Computer File Information Creation Date: 07/04/12 Last Modification Date: 07/04/12 Full Path: \\www.colorado.gov\... Drawing File Name: 208103010.dgn CADD Version: MicroStation V8 Scale: Not to Scale Units: English	Sheet Revisions Date: _____ Comments: _____	Colorado Department of Transportation 4201 East Arkansas Avenue COST HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9888 Division of Project Support DLM/LTA	TEMPORARY EROSION CONTROL Issued By: Project Development Branch on July 4, 2012	STANDARD PLAN NO. M-208-1 Sheet No. 5 of 10
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Computer File Information Creation Date: 07/04/12 Last Modification Date: 07/04/12 Full Path: \\www.colorado.gov\... Drawing File Name: 208103010.dgn CADD Version: MicroStation V8 Scale: Not to Scale Units: English	Sheet Revisions Date: _____ Comments: _____	Colorado Department of Transportation 4201 East Arkansas Avenue COST HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9888 Division of Project Support DLM/LTA	TEMPORARY EROSION CONTROL Issued By: Project Development Branch on July 4, 2012	STANDARD PLAN NO. M-208-1 Sheet No. 2 of 10
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Computer File Information Creation Date: 07/04/12 Last Modification Date: 07/04/12 Full Path: \\www.colorado.gov\... Drawing File Name: 208103010.dgn CADD Version: MicroStation V8 Scale: Not to Scale Units: English	Sheet Revisions Date: _____ Comments: _____	Colorado Department of Transportation 4201 East Arkansas Avenue COST HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9888 Division of Project Support DLM/LTA	TEMPORARY EROSION CONTROL Issued By: Project Development Branch on July 4, 2012	STANDARD PLAN NO. M-208-1 Sheet No. 3 of 10
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